



**Chubby Hubby
Home Inspection, P L L C**

Chubby Hubby Home Inspections, PLLC

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This Inspection Report Has Been Prepared Exclusively for:

Buyers Name

Buyers Address

Inspectors: Dale Sherman TREC 21563 & Maryann Sherman TREC 24716



PROPERTY INSPECTION REPORT FORM

_____ <i>Name of Client</i>	_____ <i>Date of Inspection</i>
_____ <i>Address of Inspection Property</i>	
_____ <i>Name of Inspector</i>	_____ <i>TREC License #</i>
_____ <i>Name of Sponsor (if applicable)</i>	_____ <i>TREC License #</i>

PURPOSE OF INSPECTIONS

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;

- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer’s installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today’s standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;

- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER “ADDITIONAL INFORMATION PROVIDED BY INSPECTOR”, OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

The property inspected was: Vacant Occupied Foundation Type: Slab Pier & Beam

Approximate Square Footage: Year house was built:

MLS: Parties present at the inspection:

Date of Inspection: Time of Inspection:

Temperature at the time of the inspection: Weather conditions:

Buyer’s Agent: Phone: Email:

Financial information about the inspection

Total cost of Inspection(s):

Paid to Chubby Hubby Home Inspections by Cash Check Credit Card / Debit / Zelle/Venmo

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Inaccessible or Obstructed Areas

- Attic space is limited – Viewed from accessible areas.
- Wall/Ceiling – Covered or freshly painted.
- Crawl space is limited – Viewed from accessible areas.
- Siding over older siding

- Plumbing areas – Only visible plumbing areas were inspected.
- Behind/under Furniture and/or stored items
- The inspector could not fully inspect areas due to personal belonging
- Floors covered.
- Roof covering over older roof covering.
- Windows covered by furniture.

Organic Matter

Organic matter (Mold/Mildew) investigations are NOT included in this report; it is beyond the scope of this inspection at the present time. The inspector recommends a mold test be conducted prior to the end of the option period.

Reference Views in the Report

Interior and exterior views will be made at four elevations: front, back, left, and right as viewed from the street looking at the front of the house.

Data for the Report

Some information in this report is obtained from MLS data. Its accuracy is dependent upon the seller's disclosure and is not warranted by the writer of this report.

Inspection Standards

The inspector is required to use TREC Standards of Practice as the minimum inspection requirement. The inspector will follow the current building, electrical, and plumbing standards being enforced by the municipality at the time of the inspection. The inspected home was built to a standard that the municipality enforced at the time the home was built. Some defects identified may be current municipality standards that were not standards at the time the home was built and should be considered an "as built condition". If this is a concern, please contact your inspector for more information.

Scope of Inspection

The TREC standards of Practice define the minimum levels of inspection required for substantially completed residential improvements of real property up to four dwelling units. A real estate inspection is a non-technically exhaustive, limited visual survey and basic performance evaluation of the systems and components of a building using normal controls and does not require to use of specialized equipment or procedures. The purpose of this inspection is to provide the client with information regarding the general condition of the residence at the time of the inspection. The inspector may provide a higher level of inspection performance than required by the standards of performance and may inspect components or systems in addition to those described in the standards of practice.

Important Limitations and Disclaimers

This Inspection Report reports on only the items listed and only on the current condition of those items as of the date of inspection. This report reflects only if the items inspected are observed to be "operable" or "inoperable" at the time of inspection; that is whether such items are observed to serve the purpose for which they are ordinarily intended, at this time. This report reflects only those items that are reasonably observable at the time of inspection. This inspection report is made for the sole purpose of assisting the purchaser to determine his and/or her own opinion of feasibility of purchase the inspected property and does not warrant all defects will be found. **NO REPRESENTATION IS MADE CONCERNING ANY OTHER CONDITION OR THE FUTURE PERFORMANCE OF ANY ITEM. NO REPRESENTATION IS MADE AS TO ITEMS NOT SPECIFICALLY COMMENTED UPON. ALL WARRANTIES EXPRESSED OR IMPLIED, NOT SPECIFICALLY STATED HEREIN ARE EXCLUDED AND DISCLAIMED.** If a comment is made concerning the condition of any item, the Client is URGED to contact a qualified SPECIALIST to make further inspections or evaluations of that item prior to the end of the option period. The Client must notify Chubby Hubby Home Inspections, PLLC; in writing of any complaints within seven (7) days of the date of inspection and must thereafter allow prompt re-inspection of the item in question. Otherwise, all claims for damages arising out of such complaint are waived by Client. If Client institutes any legal action concerning this inspection and fails to prevail on all causes of action alleged, Client shall be liable to Chubby Hubby Home Inspections for all its attorney's fees incurred in such action. Actual damages for any breach of contract or warranty, negligence or otherwise are limited to the amount of the inspection fee paid. The Client, by accepting this Report or relying upon it in any way, expressly agrees to these Limitations and Disclaimers.

The digital pictures within this report are a representative sample of inaccessible areas, deficiencies, or damages in place and should not be considered to show all of the inaccessible areas, deficiencies, or damages observed. There will be inaccessible areas, deficiencies, or damages not represented with digital images.

For more information concerning your rights, contact the Consumer Protection Division of the Attorney General's Office, your local District or County Attorney, or the attorney of your choice.

This inspection is essentially visual, it is not technically exhaustive, and it does not imply that every defect will be discovered. It is only a statement of opinion and/or condition as of and on the date of the inspection. Your acceptance of this report by hand or email is the same as signing the report unless the inspector is contacted in writing within 24 hours.



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I NI NP D

I. STRUCTURAL SYSTEMS **A. Foundations**

Type of foundation(s): Slab on Grade

Comments:

Foundation Is Performing Adequately

In my opinion, the foundation appears to be providing adequate support for the structure at the time of this inspection. I did not observe any apparent evidence that would indicate the presence of adverse performance or significant deficiencies in the foundation. The interior and exterior stress indicators showed little effects of adverse performance and I perceived the foundation to contain no significant un-levelness after walking the 1st level floors.

Foundation Deficiencies:

It is the inspector's opinion that the foundation functioned as intended at the time of the inspection.

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- Note: There were corner pops around the home. If large enough will cause bricks to crack on the corner. Monitor and repair as needed.
- Note: There was an area of spalling concrete present at the foundation wall. This will cause the area to deteriorate over time. Recommend covering with grout.

Additional Information provided by the inspector:

This inspection is one of first impressions and the inspector was not provided with any historical information pertaining to the structural integrity of the inspected real property. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinion expressed is one of apparent conditions and not of absolute fact and are only good for the date and time of the inspection.

The inspection of the foundation may show it to be providing adequate support for the structure or having movement typical to this region, at the time of the inspection. This does not guarantee future life or failure of the foundation. **The inspector is not a structural engineer. This inspection is not an engineering report or evaluation and should not be considered one, either expressed or implied.** If any cause of concern is noted in this report, or if you want further evaluation, you should consider an evaluation by an engineer of your choice.

There were bushes blocking the foundation walls. Bushes should be kept 2' away from the foundation walls.

There were areas of erosion around the foundation wall due to water runoff from the roof.

FOUNDATION MAINTENANCE RECOMMENDATIONS

An owner can significantly reduce the rate of differential settlement by observing the following recommendations:

1. Try to maintain constant moisture content in the soil around the foundation. Water the soil

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evenly and around the entire foundation during extended dry periods. This should prevent a gap from opening between the soil and foundation edge. However, if a gap does appear, water frequently (at least daily) around the entire foundation during extended dry periods (6 to 7 days in the summer). Do not apply water directly into the gap. Instead, water 1 to 2 feet away from the foundation edge. Some homeowners cut and cap the roots of any large trees growing closer to the foundation than the mature height of the trees. The roots from a large tree or several medium size trees can consume more water from the soil than can be added with a watering system. This will limit the consumption of water from the soil below the foundation and may prevent excessive differential settlement and cracks in the structure. It is recommended that a professional tree expert be used to prevent damage to the trees. When a tree grows too close to a building to allow cutting and capping of the roots, it is advisable to remove the tree or make special provision for watering the soil below the foundation.

2. Properly grade the soil by filling in low spots and leveling off high spots adjacent to the foundation so that the surface of the soil slopes gradually away from the building. A recommended slope is 1 inch per foot for 3 to 4 feet from the foundation.
3. Control roof water runoff and help prevent soil erosion by using a gutter and downspout system. This is especially important if a building has no eaves, which overhang the walls or if the eaves are less than 1 foot wide.
4. Water trees and shrubs growing near a building during extended dry periods as they cause shrinking of the soil due to their high-water consumption. Keep in mind that moderate to large trees consume 50 to 75 gallons of water from the soil every day.

B. Grading and Drainage

Comments:

Grading and Drainage Deficiencies:

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- The lot was lower relative to the neighbors on the right. If water intrusion and ponding occur. The inspector recommends a licensed landscaper evaluate and correct the issues which could involve re-grading or adding a drainage system. **(Figure 1)**
- There were low areas and areas of bare soil where ponding may occur. Recommend adding additional soil. If ponding continues, the inspector recommends a licensed landscaper evaluate and correct the issues which could involve regrading or adding a drainage system. **(Figure 2)**
- There was a damaged gutter downspout turn-out on the back of the home. Recommend repair. **(Figure 3)**
- Note: There were down spouts that do not extend at least 3 feet away from the foundation. This may cause ponding at the foundation; the foundation needs equal watering at all points. Recommend extending the down spout 3 feet.
- Note: There were missing splash blocks around the perimeter of the home. Splash block channel water away from the foundation. Recommend adding splash blocks to channel water 3 feet from the foundation.

Additional Information provided by the inspector:

The inspector recommends that all the grading and drainage deficiencies listed above be evaluated and repaired by a licensed Landscape Contractor. The Licensed Landscape Contractor may find additional defects besides those listed above.

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At the time of our inspection the exterior grounds were dry (or nearly dry). In view of this we cannot comment completely on adverse drainage and/or ponding water.

The Inspector recommends that gutters be added to the remainder of the home, and splash blocks be installed properly, and all down spout diverters extended 3' away from the foundation and yearly cleaning is recommended



Figure 1



Figure 2



Figure 3

C. Roof Covering Materials

Type of roof covering: Architectural shingles

Vantage point at which the roof was viewed: Ground, ladder, and on the roof.

Comments:

Roof Covering Materials Deficiencies:

I	NI	NP	D
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Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- The composition roofing material had signs of aggregate loss at the shingle and/or shingle edges. Recommend an evaluation by a roofing contractor. **(Figure 4)**
- There were signs of impact damage on shingles in areas around the home. Recommend an evaluation by a roofing contractor. **(Figure 5)**
- Note: The condenser did not have a rain diverter on the roof over the unit. This may cause premature failure of the condenser. Recommend adding a diverter.
- Note: There were gutters that discharge over on the roof. This can cause wear of the roof covering materials. Monitor and repair as needed.
- Note: The roof had an area where there are shingles installed with less than a 4/12 sloop. The manufacturer recommends the shingles be installed on roofs with a 4/12 sloop or greater. The manufacture also states that roofs with a slope of less than a 4/12 sloop can be shingled if a double underlayment is installed under the shingles. The inspector cannot determine if a double underlayment was installed. Recommend an evaluation by a roofing contractor.

Additional Information provided by the inspector:

The inspector recommends that all the roof covering materials deficiencies listed above be evaluated and repaired by a Roofing Contractor. The Roofing Contractor may find additional defects besides those listed above.

Note: The roof is one of the most expensive components to repair or replace. The inspectors are not roofing experts and it is recommended that a licensed roofing company thoroughly inspect the roofing prior to the end of the option period.

Note: Please refer to the seller's disclosure for the roof system's age, condition, prior problems etc. Only the property owner would have accurate knowledge of this information. The roof's age cannot be determined by the inspector and this inspection is not a warranty against future roof leaks. Even a roof that appears to be in good, functional condition may leak under certain circumstances. The inspectors do not take responsibility for a roof leak that happens in the future. This inspection is not a warranty or guarantee of the condition of the roof system.

Note: homeowners insurance companies use different standards and criteria for determining whether they will issue an insurance policy. These standards differ from insurance company to insurance company. In view of this, please be advised that this report does not certify nor guarantee that an insurance company will accept or reject an insurance policy based on the condition of this roof. We recommend that our client contact their insurance agent without delay to best determine the insurability of this roof and structure.

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Figure 4

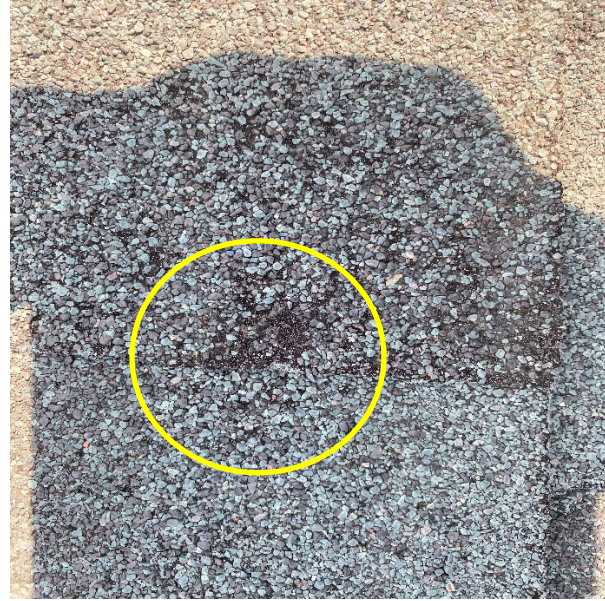


Figure 5

D. Roof Structures and Attics

Vantage point at which the attic was viewed: Inside the attic structure on the decking and or safe areas of the attic only. Some areas may have been inaccessible at the time of the inspection.
Approximate Average Depth of Insulation: 12" to 14" inches.
Comments:

Roof Structures and Attics Deficiencies:

It is the inspector's opinion that the roof structure functioned as intended at the time of the inspection.

Additional Information provided by the inspector:

Attic:

In this area of Texas, according to the Department of Energy, you should have an insulation rating of R30 (10 Inches) to R60 (18 Inches) of insulation installed in the attic structure to improve energy efficiency.

The insulation level is currently: 12" to 14" inches, which is at the current standards of 10" to 18" of blown in insulation.

Type of insulation: Blown-in

Discription of roof structure: Hand manufactured rafter

The decking had a radiant barrier installed on the underside of the decking. .

Attic Ventilation Type: Continuous vents and soffit vents__

Attic Temperature: 92°F

Attic Humidity: 69% - If the relative humidity levels are 60% or higher is a conducive condition for biological growth. The inspector recommends adding additional ventilation to the attic structure or a recheck when the external humidity is less than 60%.

External Humidity: 76%

Due to the roof/attic design and/or storage, the roof space/attic was viewed primarily from the attic hatch and/or decked surfaces. Portions of the attic blocked by ductwork and inaccessible areas were not walked.

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 E. Walls (Interior and Exterior)

Comments:

Internal Wall Deficiencies:

Some areas of the internal walls could not be tested at the time of the inspection due to furniture, pictures, and/or personal belongings.

It is the inspector's opinion that the interior walls functioned as intended at the time of the inspection.

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- Note: There were gapped water mixer handle escutcheon plates on one or more plate to wall connection point. This can cause water intrusion into the wall. Recommend sealing with silicone caulk.
- Note: There were gapped tub spouts on one or more tub spouts to wall connection points. This can cause water intrusion into the wall. Recommend sealing with silicone caulk.

External Wall Deficiencies:

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- There were areas of wall brick-and-mortar joint separation above the front entry door. Recommend an evaluation and repair by a mason. **(Figure 6)**
- There were expansion joints that have cracked and/or missing caulk, recommend adding elastomeric caulk to prevent water intrusion and termite infestation. **(Figure 7)**
- There are missing weepholes over the garage door. Recommend adding weepholes for drainage. **(Figure 8)**
- Note: There were exterior faucets that should be sealed at the wall connection points to prevent water intrusion.
- Note: There were exterior lights that should be sealed at the wall connection points to prevent water intrusion with elastomeric caulk.

[Additional Information provided by the inspector:](#)

The inspector recommends that all the external wall deficiencies listed above be evaluated and repaired by a General Contractor. The General Contractor may find additional defects besides those listed above.

The prevalent exterior siding: Brick with wood trim.

Some of the walls appear to have been painted which may hide some stains, mildew, or other damage that may exist.

When cleaning the exterior wall covering surfaces do not use a pressure washer. Only use a hose with mild soap and water.

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I	NI	NP	D
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Figure 6

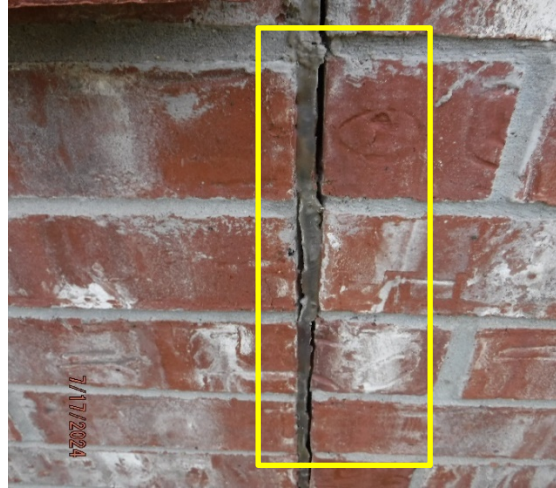


Figure 7



Figure 8

F. Ceilings and Floors

Comments:

Ceiling Deficiencies:

It is the inspector's opinion that the ceiling functioned as intended at the time of the inspection.

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- Note: There were tape-gaps present at the garage ceiling in areas. Recommend repair to ensure the garage to house fire rating.
- Note: There were nail pops present in the ceiling in areas. This can be an indication of movement of the home. Recommend a sheetrock specialist repair as needed.

I=Inspected NI=Not inspected NP=Not Present D=Deficient

I	NI	NP	D
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Floor Deficiencies:

Some areas of the floor could not be tested at the time of the inspection due to furniture, carpets, and/or personal belongings.

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- There were lifting laminate flooring in the kitchen. Recommend an evaluation by a flooring company. **(Figure 9)**
- Note: There were one or more toilets with cracked or missing caulk at the base to floor connection points. Sewage can come out from under the toilet. Recommend sealing with silicone caulk.
- Note: There were cracks in the garage floor. This can cause fluid intrusion. Recommend sealing.

Additional Information provided by the inspector:

The inspector recommends that all the floor deficiencies listed above be evaluated and repaired by a General Contractor. The General Contractor may find additional defects besides those listed above.

Some of the ceilings appear to have been painted which may hide some stains, mildew, or other damage that may exist.

There are areas of wear on the floor covering materials in areas of the home.

There were floors obstructed by personal belongings; these areas could not be fully inspected.



Figure 9

G. Doors (Interior and Exterior)

Comments:

Interior Door Deficiencies:

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I NI NP D

- There is not a solid wood door between the residence and the attached garage. The home must contain a solid wood door not less than 1-3/8 inches in thickness, a solid or honeycomb core steel door not less than 1-3/8 inches thick, or a 20-minute fire-rated door between the residence and an attached garage. Recommend replacement by a door company. **(Figure 10)**
- There was not a self-closing hinges or automatic closing devices on the attached garage door walk through door to the home. This is a new requirement and was not a requirement when the house was built. Recommend adding a closings-closing device or self-closing hinges by a door company if desired. **(Figure 11)**
- Note: There were missing door stops in areas around the home. This may cause wall damage. Recommend adding door stops.

Exterior Door Deficiencies:

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- There was torn or damaged weather stripping on the back patio door. This can cause water or insect intrusion. Recommend repair by a door company. **(Figure 12)**
- Note: There were missing door stops in areas around the home. This may cause wall damage. Recommend adding door stops.

Garage Door Deficiencies:

- The door did not stay in a fixed position when operated manually. This can cause personal injury. **(Figure 13)**
- Note: The garage door was noisy during operation. This can cause binding of the door. Recommend lubricating garage door.

Additional Information provided by the inspector:

The inspector recommends that due to all the internal, external, and garage door deficiencies be evaluated and repaired by a Door Specialist. The Door Specialist may find additional defects besides those listed above.

The inspector recommends the garage hinges and spring(s) be lubricated every 3-months.



Figure 10



Figure 11

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I NI NP D



Figure 12



Figure 13

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H. Windows

Comments:

Window Deficiencies:

Some windows could not be tested at the time of the inspection due to furniture and/or personal belongings in front of windows.

It is the inspector's opinion that the windows functioned as intended at the time of the inspection.

[Additional Information provided by the inspector:](#)

The inspector recommends that the vinyl window tracks be lubricated every 6 months with silicone spray.

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I. Stairways (Interior and Exterior)

Comments:

Internal Stairway Deficiencies:

Not Present

External Stairway Deficiencies:

Not Present

-
-
-
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J. Fireplace and Chimneys

Comments:

Fireplace and Chimneys Deficiencies:

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I NI NP D

It is the inspector's opinion that the fireplace functioned as intended at the time of the inspection.

Additional Information provided by the inspector:

Type of fireplace: Manufactured panels Masonry Brick

Fireplace fuel type: Wood burning

The attic firestop was not accessible, and it was undetermined if one was present.

The fireplace refractory panels were constructed of heat resistant materials to appear as brick.

The fireplace's chimney was constructed of metal.

K. Porches, Balconies, Decks and Carports

Comments:

Porch Deficiencies:

It is the inspector's opinion that the porch functioned as intended at the time of the inspection.

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- Note: There were cracks in the porch flooring. This can be a point for water intrusion. Monitor and repair as needed.
- Note: There were wood post(s) on the porch that had wood trim installed around the base of the post(s) at the time of the inspection. The posts should be installed on a metal plate that is secured to the base of the porch. The inspector cannot determine if the post(s) are installed on secured metal plates. If the plates are not present, this may cause rotting of the post(s). Monitor and repair as needed by a deck or railing specialist.

Balcony Deficiencies:

There was not a balcony present at the home at the time of the inspection.

Deck(s) Deficiencies:

There was not a deck present at the home at the time of the inspection.

Carport(s) Deficiencies:

There was not a carport present at the home at the time of the inspection.

Additional Information provided by the inspector:

Note: Structural load capabilities are not inspected.

II. Electrical Systems

A. Service Entrance and Panels

Comments:

Service Entrance and Panels Deficiencies:

I	NI	NP	D
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Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- There was not the required working space at points around the panel. There must be 30-inch minimum space on the sides and 36-inches open space in the front of the panel. Recommend repair. **(Figure 14)**
- Note: There were some, but not all the required dedicated circuits in the panel that are required by current standards. Recommend an evaluation by a licensed electrical contractor.
- Note: There was not an external intersystem bonding block located by the meter. Current standards require an external intersystem bonding termination block. Recommend an evaluation by a licensed electrical contractor.

Additional Information provided by the inspector:

The inspector recommends that all the service entrance and panel deficiencies listed above be evaluated and repaired by a licensed Electrical Contractor. The licensed Electrical Contractor may find additional defects besides those listed above.

Note: All systems in the house could not be verified for bonding.

Main panel brand: Square D

Main panel location: Garage wall

Amperage rating of the main panel cut-off circuit breaker: 200-Amp breaker.

Grounding electrode type present at home:

- Grounding rod
 Cold water pipe
 Ufer
 Not located or observed by inspector(s)



Figure 14

-

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

I=Inspected

NI=Not inspected

NP=Not Present

D=Deficient

I NI NP D

Branch Circuits, Connected Devices, and Fixture Deficiencies:

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- There were Arc-fault overcurrent protection devices (circuit breakers) in the bedroom only. Current Standards require Arc-fault overcurrent devices are in all in all kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, and laundry areas. This is a new requirement and was not a requirement when the house was built. Recommend adding arc-fault receptacles in all required aeras by a licensed electrical contractor.
- The kitchen water side GFCI receptacles did not open when tested. This is a safety issue. Recommend replacement of the GFCI receptacle by a licensed electrical contractor. **(Figure 15)**
- The laundry room did not have GFCI receptacle(s) on all receptacles in the laundry aera. This is a safety issue. This is a new requirement and was not a requirement when the house was built. Recommend adding GFCI receptacle(s) by a licensed electrical contractor. **(Figure 16)**
- There were missing non-tamper proof receptacles in aeras of the home. Tamper proof receptacles are required for receptacle(s) that are located less than five and half feet above floor level. This is a new requirement and was not a requirement when the house was built. Recommend a licensed electrical contractor install tamper proof reciprocals in these aeras.
- There was a cracked switches cover for the attic light switch. Recommend replacement. **(Figure 17)**
- There were an insufficient number of Carbon monoxide detectors/alarms within the home at the time of the inspection. This is a safety issue. Carbon monoxide detectors/alarms were missing in the adjacent hallway to sleeping aeras. Recommend adding Carbon monoxide detectors/alarms.
- There is an improper use of an extension cord to power the shed. Recommend a licensed electrical contractor and additional receptacles by a licensed electrical contractor. **(Figure 18)**

Additional Information provided by the inspector:

The inspector recommends that all the branch circuits, connected devices, and Fixture deficiencies listed above be evaluated and repaired by a licensed Electrical Contractor. The licensed Electrical Contractor may find additional defects besides those listed above.

The outlets that are behind or under furniture, stored items or plugged into electronics were not tested.

Smoke alarms that appeared to be connected to an in-house security system were not tested due to the possibility of being connected for direct callout to the local fire department, emergency services and or the police department. For testing, it is recommended that you contact the security company that monitors the currently installed system.

The inspector recommends adding new smoke and carbon monoxide detectors with new 10-year lithium battery units upon moving into your new home if not connected to a security system. If the detectors are connected to an alarm system. The inspector recommends that you contact the security company that monitors the currently installed system. for an evaluation of the detectors that are present in the home.

Electrical components concealed behind finished surfaces could not be inspected.

Smoke Alarm Locations: All required aeras

Carbon Monoxide Locations: Not present at the time of the inspection.

GFCI Reset Location(s): Kitchen, Primary bathroom, and garage,

I=Inspected

NI=Not inspected

NP=Not Present

D=Deficient

I NI NP D



Figure 15



Figure 16

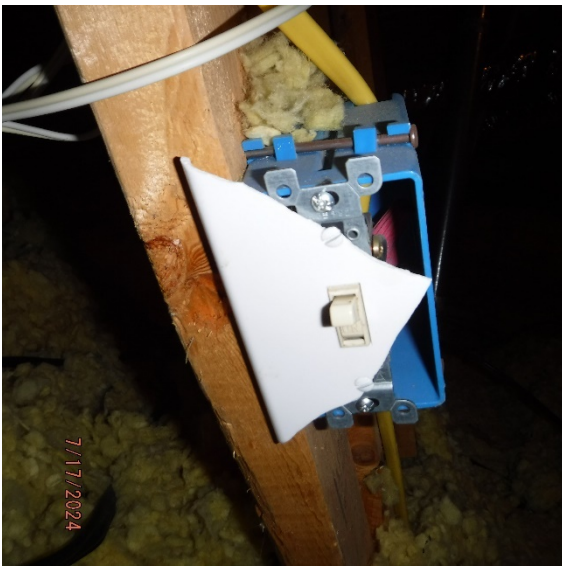


Figure 17

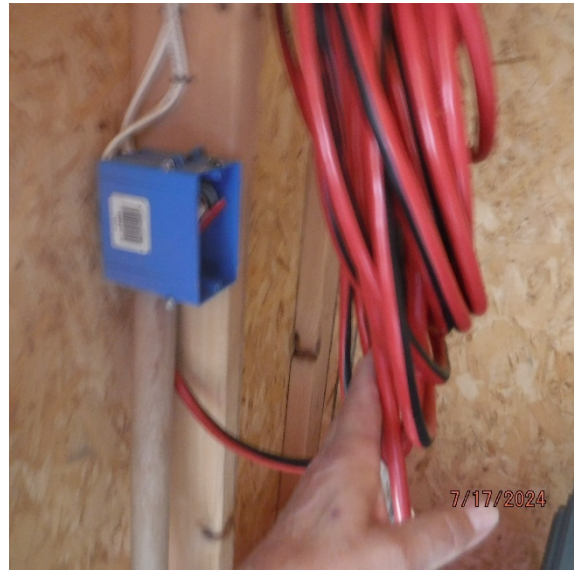


Figure 18

III. Heating, Venting, and Air-Conditioning Systems

A. Heating Equipment

Type Of System: Split System, Forced Air Heat Pump

Energy Source: Electric

Comments:

Heating Equipment Deficiencies:

The heating system could not be operated due to the external temperature being greater than 70 degrees at the time of the inspection. The heating equipment was visually inspected but not operated at the time of the inspection.

I=Inspected NI=Not inspected NP=Not Present D=Deficient

I	NI	NP	D
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Recommend having the system tested in the heat mode by a licensed HVAC contractor prior to the end of the option period.

It is the inspector's opinion that the heating equipment should function as intended at the time of the inspection.

Additional Information provided by the inspector:

The ambient temperature exceeds 70°F. To prevent damage to the heating unit the unit was inspected. However, the unit was not operated.

Recommend the unit be cleaned and evaluated prior to heating season around October.

The programmable thermostat(s) were/was not tested.

Interior heater:

Thermostat location: Wall by primary bedroom

Condition: Functions – Always change the batteries upon moving in.

Manufacture: Carrier

Model Number: FB4CNP048

Serial Number: 1322F22104

Manufacture Date: March 2022

B. Cooling Equipment

Type Of System: Split System, Forced Air

Comments:

Cooling Equipment Deficiencies:

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- The cooling system did not reach the standard differential temperatures of 15 to 22 degrees between the return and the closest output register. Recommend a licensed HVAC contractor evaluate the system and repair as needed. **(Figure 19 A & 19 B)**
- Note: The primary condensation line was not insulated to prevent condensation drips under the line. Recommend insulating the condensation line.

Additional Information provided by the inspector:

The inspector recommends that all the cooling system deficiencies listed above be evaluated and repaired by a licensed HVAC Contractor. The licensed HVAC Contractor may find additional defects besides those listed above.

Recommend the unit be cleaned and evaluated prior to cooling season around May.

Air-Conditioning Delta-T Readings:

The air temperature at the return plenum to the HVAC was 71.6°F.

The air temperature at the output plenum from the HVAC was 57.3°F.

Today's temperature differential reading (Delta T): 14.3°F.

I=Inspected

NI=Not inspected

NP=Not Present

D=Deficient

I NI NP D

This unit appears to not be generating sufficient cooling air at the time of the inspection. This unit did not achieved an adequate temperature differential (Delta-T) as determined by accepted industry standards of practice for measuring cooling performance for air conditioning systems.

Note: Temperature differential (Delta-T) as determined by accepted industry standards of practice for measuring cooling performance for air conditioning systems. Chubby Hubby's policy is a normal acceptable range is considered approximately between 15 to 22 degrees °F total difference (Delta-T) measured between the air return and cooling supply air within close proximity of the related coils of the system being evaluated. Conditions such as but not limited to; excessive humidity, high or low outdoor temperatures, or restricted airflow may indicate abnormal operation even though the equipment is functioning basically as designed and occasionally may indicate normal operation despite an equipment malfunction. The inspector will not be able to anticipate future events, conditions, or changes in the performance of any component or system due to changes in use or occupancy. The inspector makes no guarantee or warranty, express or implied as to future performance of any item, system, or component.

Manufacture: Carrier

Model Number: 25HBC542AP030061

Serial Number: 4921E16455

Manufacture Date: Dec 2021

Approximate System SEER: 14 minimum

Approximate System Size: 3.5-Ton.

Listed Refrigerant Type: R410A

Maximum CTK-BKR: 40-Amp



Figure 19 A



Figure 19 B

C. Duct Systems, Chases and Vents

Comments:

Duct Systems, Chases and Vents Deficiencies:

It is the inspector's opinion that the duct, chase, and vent systems functioned as intended at the time of the inspection.

Additional Information provided by the inspector:

The Inspector recommends the ducting be cleaned to remove dust, mold and dirt can build up internally within the ducts and this can be dangerous to one's health.

I=Inspected

NI=Not inspected

NP=Not Present

D=Deficient

I NI NP D

Ductwork and venting concealed behind finished surfaces and in the inaccessible sections of the attic could not be inspected.

Filter type: Disposable

Filter condition: Recently changed.

Filter size: 20 X 20 X 1

Filter location: Ceiling by primary and guest bedrooms.

IV.

Plumbing Systems

A. Plumbing Supply, Distribution Systems, and Fixtures

Location of water meter: Front yard

Location of main water supply valve: Front parkway.

Static water pressure reading: 50-PSI.

Type of supply lines within the house: Copper

Comments:

Plumbing Supply, Distribution Systems, and Fixtures Deficiencies:

- The single kitchen sink faucet handle did not have temperature indicators for the hot and cold water. Without indicators the hot water should be applied when the handle is placed in the up position. The hot is applied when the handle is in the down position. This is a safety issue. Recommend repair by a licensed plumbing contractor. **(Figure 20)**
- There were missing anti-siphon valves on one or more external faucets at the time of the inspection. For safety reasons, an anti-siphon valve should be added to the exterior faucets to prevent cross contamination of the water supply.

Additional Information provided by the inspector:

The inspector recommends that all the plumbing supply, distribution systems, and fixtures deficiencies above be evaluated and repaired by a licensed Plumbing Contractor. The licensed Plumbing Contractor may find additional defects besides those listed above.

Note: Water pressure reported was a cursory test and the pressure can vary throughout the day.

Portions of the plumbing system concealed behind finishes and/or storage (below sinks, etc.), below the structure, and beneath the yard were not inspected.

Water quality is not tested. The effect of lead content in solder and/or supply lines is beyond the scope of this inspection.

The water supply lines to the washer connections were not tested because an appliance was attached to the valve.

I=Inspected

NI=Not inspected

NP=Not Present

D=Deficient

I NI NP D



Figure 20

B. Drains, Wastes and Vents

Type of drain piping material: PVC

Comments:

Drains, Wastes, and Vents Deficiencies:

- The right-side kitchen sink drain was not securely attached to the tail piece. This can cause leakage and damage to the cabinet. Recommend repair by a licensed plumbing contractor. (Figure 21)

Additional Information provided by the inspector:

The inspector recommends that all the drains, wastes, and vents deficiencies above be evaluated and repaired by a licensed Plumbing Contractor. The licensed Plumbing Contractor may find additional defects besides those listed above.

Only the drain lines under sinks were inspected. All drain and vents lines behind walls and underground were not inspected. It is recommended that a licensed plumbing contractor evaluate the drain lines and wastes vents with a video camera and/or perform a hydrostatic pressure test and make all necessary repairs.

Utility room laundry and floor drains are not within the scope of this inspection.

I NI NP D



Figure 21

C. Water Heating Equipment

Energy Source: Electric

Tank Capacity: 50 Gallons

Comments:

Water Heating Equipment Deficiencies:

It is the inspector's opinion that the water heating equipment functioned as intended at the time of the inspection.

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- Note: The water lines on the top of the tank are not insulated at the time of the inspection. Recommend adding insulation to improve energy efficiency.

Additional Information provided by the inspector:

The hot water temperature at the kitchen sink: 95.2°F

The elements had continuity when tested at the time of the inspection.

Top Element: Unable to measure due to access.

Bottom Element: Unable to measure due to access.

The temperature & relief valve (TPR) was not operated at the time of the inspection due to possible leaks associated with older TP&R valves that have not been operated on a regular basis.

Water heater manufacturers recommend that the TP&R valves be replaced every 3-5 years. Check the manufacture date code on the valve.

Water heater closets and pedestal aeras should not be used as additional storage of any kind.

I=Inspected

NI=Not inspected

NP=Not Present

D=Deficient

I NI NP D

Manufacture: Bradford White
Model Number: RE250T-1NCWWW
Serial Number: WJ46509197
Manufacture Date: September 2020

D. Hydro-Message Therapy Equipment

Comments:

Hydro-Message Therapy Equipment Deficiencies:

Not Present

E. Gas Distribution Systems and Gas Appliances

Location of gas meter: Not Present

Type of gas distribution piping material: Not Present

Comments:

Gas Distribution System and Gas Appliances Deficiencies:

Not Present

V. Appliances

A. Dishwasher

Comments:

Dishwasher Deficiencies:

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- The unit was loose or not secured to the countertop or cabinet. There are trim nails in areas trying to secure the dishwasher. Recommend securing the unit by an appliance specialist. **(Figure 22)**
- Note: The dishwasher had an odor after the cycle was complete. Recommend cleaning

Additional Information provided by the inspector:

The inspector recommends that dishwasher deficiencies be evaluated and repaired by an Appliance Repair Specialist. The Appliance Repair Specialist may find additional defects besides those listed above.

Manufacture: LG
Model Number: LDF7774ST
Serial Number: 509KWNM7W727

I NI NP D



Figure 22

B. Food Waste Disposer

Comments:

Food Waste Disposer Deficiencies:

It is the inspector's opinion that the food waste disposer functioned as intended at the time of the inspection.

Additional Information provided by the inspector:

The red reset button is located on the bottom of the unit.

Manufacture: In-Sink -Erator
 Model Number: 500-2
 Serial Number: 18081416486

C. Range Hood and Exhaust System

Comments:

Range Hood and Exhaust System Deficiencies:

It is the inspector's opinion that the range hood functioned as intended at the time of the inspection.

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- Note: The range hood did not terminate to the exterior. Recommend installing an exhaust vent to the exterior.

Additional Information provided by the inspector:

I=Inspected NI=Not inspected NP=Not Present D=Deficient

I NI NP D

These types of filters (located on the bottom of the unit) can be washed on the top rack only of the dishwasher or in the sink with equal parts of hot water and a mild detergent solution.

The range exhaust vent recycles the air back into the kitchen space.

The range hood and the microwave are the same unit.

 D. Range, Cooktops and Ovens

Comments:

Range, Cooktops and Ovens Deficiencies:

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- There was not an anti-tipping device on the range. This is a safety issue. Recommend adding an anti-tipping device. **(Figure 23)**

Additional Information provided by the inspector:

The inspector recommends that Range Cooktop and Oven issues be evaluated and repaired by an Appliance Repair Specialist. The Appliance Repair Specialist may find additional defects besides those listed above.

The oven temperature reached: 344.7°F. when set on 350°F.

Thermostat(s) for range/oven is set to 350 degrees: (Plus or minus 25 degrees is allowed for proper operation)

The oven was dirty which can affect temperature.

The broiler operated at the time of the inspection.

Range Manufacture: Samsung
Model Number: NE59J780WS/AA
Serial Number: 0C8N7DCH801150B

I NI NP D



Figure 23

E. Microwave Ovens

Comments:

Microwave Ovens Deficiencies:

It is the inspector's opinion that the microwave oven functioned as intended at the time of the inspection.

Additional Information provided by the inspector:

Manufacture: Samsung
Model Number: SMH1816S
Serial Number: J137WOD403272V

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

Mechanical Exhaust Vents and Bathroom Heaters Deficiencies:

It is the inspector's opinion that the mechanical exhaust vents functioned as intended at the time of the inspection.

Additional Information provided by the inspector:

All exhaust vents exit to the exterior for proper ventilation.

I=Inspected NI=Not inspected NP=Not Present D=Deficient

I	NI	NP	D
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 G. Garage Door Operators

Comments:

Garage Door Operators Deficiencies:

It is the inspector's opinion that the garage door opener functioned as intended at the time of the inspection.

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- Note: The manual release handle was greater than 6 feet at the time of the inspection. Recommend lowering then handle to 6-foot or below.

Additional Information provided by the inspector:

The Inspector recommends testing the auto-reverse and safety reverse functions of the door every 6 months Consult your opener manual to perform these tests. If either test fails further evaluation is needed by a qualified garage door specialist.

 H. Dryer Exhaust Systems

Comments:

Dryer Exhaust Systems Deficiencies:

It is the inspector's opinion that the dryer exhaust system functioned as intended at the time of the inspection.

Additional Information provided by the inspector:

The washer and or dryer was present and in place at the time of the inspection therefore limiting our access to the exhaust vent.

The dryer vent exists through the roof

The inspector recommends annual cleaning of the dryer exhaust line.

ADDENDUM: REPORT SUMMARY

The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations.

Grading and Drainage Deficiencies:

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- The lot was lower relative to the neighbors on the right. If water intrusion and ponding occur. The inspector recommends a licensed landscaper evaluate and correct the issues which could involve re-grading or adding a drainage system.
- There were low areas and areas of bare soil where ponding may occur. Recommend adding additional soil. If ponding continues, the inspector recommends a licensed landscaper evaluate and correct the issues which could involve regrading or adding a drainage system.
- There was a damaged gutter downspout turn-out on the back of the home. Recommend repair.
- Note: There were down spouts that do not extend at least 3 feet away from the foundation. This may cause ponding at the foundation; the foundation needs equal watering at all points. Recommend extending the down spout 3 feet.
- Note: There were missing splash blocks around the perimeter of the home. Splash block channel water away from the foundation. Recommend adding splash blocks to channel water 3 feet from the foundation.

Roof Covering Materials Deficiencies:

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- The composition roofing material had signs of aggregate loss at the shingle and/or shingle edges. Recommend an evaluation by a roofing contractor.
- There were signs of impact damage on shingles in areas around the home. Recommend an evaluation by a roofing contractor.
- Note: The condenser did not have a rain diverter on the roof over the unit. This may cause premature failure of the condenser. Recommend adding a diverter.
- Note: There were gutters that discharge over on the roof. This can cause wear of the roof covering materials. Monitor and repair as needed.
- Note: The roof had an area where there are shingles installed with less than a 4/12 sloop. The manufacturer recommends the shingles be installed on roofs with a 4/12 sloop or greater. The manufacture also states that roofs with a slope of less than a 4/12 sloop can be shingled if a double underlayment is installed under the shingles. The inspector cannot determine if a double underlayment was installed. Recommend an evaluation by a roofing contractor.

External Wall Deficiencies:

It is the inspector's opinion that the exterior walls functioned as intended at the time of the inspection.

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- There were areas of wall brick-and-mortar joint separation above the front entry door. Recommend an evaluation and repair by a mason.

- There were expansion joints that have cracked and/or missing caulk, recommend adding elastomeric caulk to prevent water intrusion and termite infestation.
- There are missing weepholes over the garage door. Recommend adding weepholes for drainage.
- Note: There were exterior faucets that should be sealed at the wall connection points to prevent water intrusion.
- Note: There were exterior lights that should be sealed at the wall connection points to prevent water intrusion with elastomeric caulk.

Floor Deficiencies:

Some areas of the floor could not be tested at the time of the inspection due to furniture, carpets, and/or personal belongings.

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- There were lifting laminate flooring in the kitchen. Recommend an evaluation by a flooring company
- Note: There were one or more toilets with cracked or missing caulk at the base to floor connection points. Sewage can come out from under the toilet. Recommend sealing with silicone caulk.
- Note: There were cracks in the garage floor. This can cause fluid intrusion. Recommend sealing.

Interior Door Deficiencies:

- There is not a solid wood door between the residence and the attached garage. The home must contain a solid wood door not less than 1-3/8 inches in thickness, a solid or honeycomb core steel door not less than 1-3/8 inches thick, or a 20-minute fire-rated door between the residence and an attached garage. Recommend replacement by a door company.
- There was not a self-closing hinges or automatic closing devices on the attached garage door walk through door to the home. This is a new requirement and was not a requirement when the house was built. Recommend adding a closings-closing device or self-closing hinges by a door company if desired.
- Note: There were missing door stops in areas around the home. This may cause wall damage. Recommend adding door stops.

Exterior Door Deficiencies:

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- There was torn or damaged weather stripping on the back patio door. This can cause water or insect intrusion. Recommend repair by a door company.
- Note: There were missing door stops in areas around the home. This may cause wall damage. Recommend adding door stops.

Garage Door Deficiencies:

- The door did not stay in a fixed position when operated manually. This can cause personal injury.
- Note: The garage door was noisy during operation. This can cause binding of the door. Recommend lubricating garage door.

Service Entrance and Panels Deficiencies:

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- There was not the required working space at points around the panel. There must be 30-inch minimum space on the sides and 36-inches open space in the front of the panel. Recommend repair.

- Note: There were some, but not all the required dedicated circuits in the panel that are required by current standards. Recommend an evaluation by a licensed electrical contractor.
- Note: There was not an external intersystem bonding block located by the meter. Current standards require an external intersystem bonding termination block. Recommend an evaluation by a licensed electrical contractor.

Branch Circuits, Connected Devices, and Fixture Deficiencies:

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- There were Arc-fault overcurrent protection devices (circuit breakers) in the bedroom only. Current Standards require Arc-fault overcurrent devices are in all in all kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, and laundry areas. This is a new requirement and was not a requirement when the house was built. Recommend adding arc-fault receptacles in all required areas by a licensed electrical contractor.
- The kitchen water side GFCI receptacles did not open when tested. This is a safety issue. Recommend replacement of the GFCI receptacle by a licensed electrical contractor.
- The laundry room did not have GFCI receptacle(s) on all receptacles in the laundry area. This is a safety issue. This is a new requirement and was not a requirement when the house was built. Recommend adding GFCI receptacle(s) by a licensed electrical contractor.
- There were missing non-tamper proof receptacles in areas of the home. Tamper proof receptacles are required for receptacle(s) that are located less than five and half feet above floor level. This is a new requirement and was not a requirement when the house was built. Recommend a licensed electrical contractor install tamper proof receptacles in these areas.
- There was a cracked switches cover for the attic light switch. Recommend replacement.
- There were an insufficient number of Carbon monoxide detectors/alarms within the home at the time of the inspection. This is a safety issue. Carbon monoxide detectors/alarms were missing in the adjacent hallway to sleeping areas. Recommend adding Carbon monoxide detectors/alarms.
- There is an improper use of an extension cord to power the shed. Recommend a licensed electrical contractor and additional receptacles by a licensed electrical contractor.

Cooling Equipment Deficiencies:

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- The cooling system did not reach the standard differential temperatures of 15 to 22 degrees between the return and the closest output register. Recommend a licensed HVAC contractor evaluate the system and repair as needed.
- Note: The primary condensation line was not insulated to prevent condensation drips under the line. Recommend insulating the condensation line.

Plumbing Supply, Distribution Systems, and Fixtures Deficiencies:

- The single kitchen sink faucet handle did not have temperature indicators for the hot and cold water. Without indicators the hot water should be applied when the handle is placed in the up position. The hot is applied when the handle is in the down position. This is a safety issue. Recommend repair by a licensed plumbing contractor.
- There were missing anti-siphon valves on one or more external faucets at the time of the inspection. For safety reasons, an anti-siphon valve should be added to the exterior faucets to prevent cross contamination of the water supply.

Drains, Wastes, and Vents Deficiencies:

- The right-side kitchen sink drain was not securely attached to the tail piece. This can cause leakage and damage to the cabinet. Recommend repair by a licensed plumbing contractor.

Dishwasher Deficiencies:

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- The unit was loose or not secured to the countertop or cabinet. There are trim nails in areas trying to secure the dishwasher. Recommend securing the unit by an appliance specialist.
- Note: The dishwasher had an odor after the cycle was complete. Recommend cleaning.

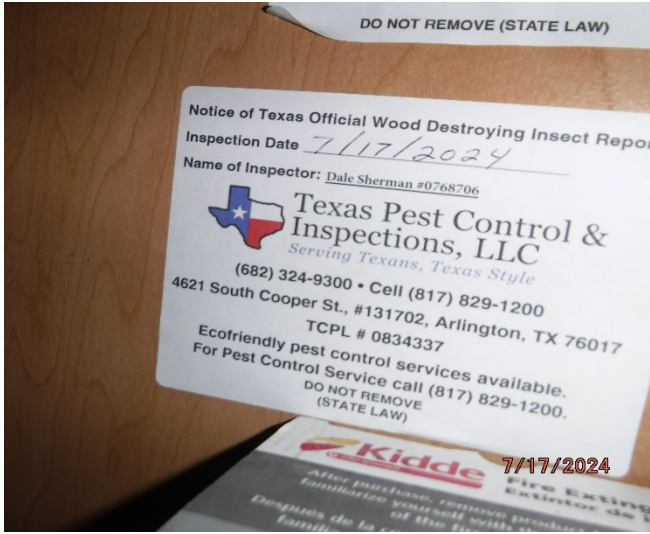
Range, Cooktops and Ovens Deficiencies:

Listed below are defects and notes. A Note in the inspector's opinion is not a deficiency and are for the buyer's information.

- There was not an anti-tipping device on the range. This is a safety issue. Recommend adding an anti-tipping device.

Miscellaneous

The WDI sticker was placed under the sink.



There were areas that were inaccessible.



Report Identification: _____

IMPORTANT AGREEMENTS AND LIMITATIONS

Purpose: This is a one-time inspection of the subject property to identify and disclose visually observable major deficiencies of the inspected systems and items at the time of inspection only. Our comments are meant to educate and to provide our client(s) with information about the areas in which the building or home may be deficient. Our intent is not to require every item below to be corrected by the seller. The buyer, seller, and their agents should use this report merely as a tool toward negotiation of a purchase and sell agreement. Homes do not "Pass" or "Fail" an inspection.

This inspection is not to be technically exhaustive nor is it considered to be a guarantee or warranty, expressed or implied, regarding the conditions of the property.

Scope & Exclusions: This is a visual inspection only. We cannot see into, or behind, walls and we will not attempt to report on systems, items, or conditions that are not readily accessible. We do not disassemble anything. We do not inspect for any environmental issues such as RADON GAS, LEAD PAINT, FORMALDEHYDE, UREA, MOLDS, FUNGUS, SOIL CONTAMINATION, MICROWAVE RADIATION, or any other types of contaminants or microbiological organisms.

We do not inspect for building code compliance, building value, appraisal or cost estimates, soil analysis, adequacy of design, underground pipes or drains, capacity, efficiency, size, value, flood plain location, termite, pest or other real property destroying organisms, or habitability. Detached structures are not included in the inspection unless specifically agreed upon by both the inspector and the client. The above list of exclusions is not all inclusive. The Inspection report may comment on the exclusions noted above in a general fashion without incurring responsibility for the exclusions noted above in whole or part.

We do not move furniture, rugs, paintings, or other furniture. There is no responsibility expressed or implied for latent defects, or for defects not reasonably observable at the time of inspection, or for defects that would require the removal of major or permanent coverings for observation. No representation is made as to the future performance of any item. Inspection of water wells, septic systems, security systems, or fire protection equipment (other than smoke detectors) will not be inspected where state /city / county codes, special training, or certification may be additionally required.

We do not hold ourselves to be specialists for any particular item; nor are we engineers. We are a general real estate inspection company.

PLEASE NOTE: Chubby Hubby Home Inspections, PLLC does not inspect for MOLD, MILDEW, FUNGUS and / or SPORES as a part of the standard Texas Real Estate Commission Inspection. If conditions of water penetration and / or migration are reported, it is assumed that conditions can and may exist that would support MOLD, MILDEW, FUNGUS and / or SPORES. While the condition of water penetration and / or migration, if visible and accessible, would be reported to the consumer, the condition of MOLD, MILDEW, FUNGUS and / or SPORES would not be tested, or inspected for. Mold inspections are separate inspections, and require a licensed Mold specialist to comment on, and test for, and report on the presence/absence of Mold, Mildew, Fungus, and spores.



**Chubby Hubby
Home Inspection, P L L C**

We would like to thank you for choosing Chubby Hubby Home Inspections, PLLC your premiere home inspection company. Your business is very much appreciated.